

## LANDSCAPE CONSTRUCTION DOCUMENTS FOR WINDING CREEK PHASE 3, VILLAGE C-22 PRODUCTION LANDSCAPE PLANS ROSEVILLE, CALIFORNIA

**MWELo STATEMENT OF COMPLIANCE**  
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

*Susan Heiken*  
SUSAN HEIKEN, PLA CA LICENSE # 6292  
STUDIO 1515

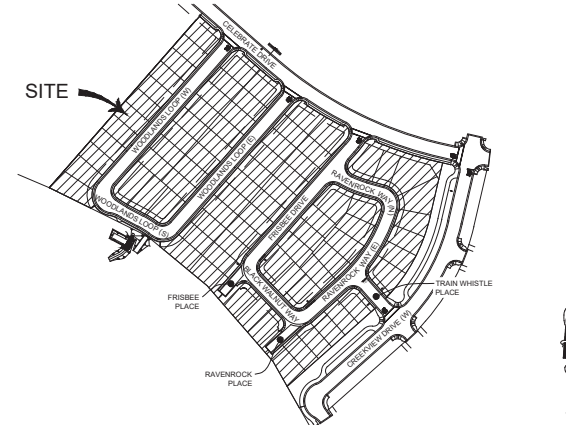
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### VICINITY MAP



### SITE MAP



### CONSULTANTS:

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### CLIENT:

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860 Stillwater Road  
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WINDING CREEK  
PH.3, VILLAGE C-22  
PRODUCTION  
LANDSCAPE PLANS



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NO.	DATE	BY	REVISIONS

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WINDING CREEK PHASE 3, VILLAGE C-22  
PRODUCTION LANDSCAPE PLANS  
COVER SHEET  
ROSEVILLE, CALIFORNIA



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## CONSTRUCTION SPECIFICATIONS

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS TO FURNISH AND INSTALL DRAINAGE SYSTEMS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE THROUGHOUT THE PROCESS OF WORK IN A REASONABLE, DRY, WORKABLE CONDITION, FREE OF SURFACE WATER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL PIPES PRIOR TO THE INSTALLATION OF PAVING AND OTHER SITE IMPROVEMENTS THAT MAY CREATE CONFLICTS WITH INSTALLATION OF OTHER WORK.
- THE BOTTOM OF TRENCHES SHALL BE GRADED AND PREPARED TO PROVIDE A FIRM AND UNIFORM BEARING SURFACE THROUGHOUT THE ENTIRE LENGTH OF PIPE.
- ALL TRENCHES SHALL BE BACK-FILLED WITH CLEAN, ON-SITE MATERIAL, COMPACTED TO 95% RELATIVE COMPACTION.
- THE CONTRACTOR SHALL CONSTRUCT FINISH GRADES OF LANDSCAPE TO DIRECT WATER TOWARDS DRAINAGE STRUCTURES OR STREET AS APPLICABLE.
- FINISH GRADES IN PLANTER AREAS SHALL BE 1" INCH BELOW TOP OF CURB OR PAVING IN TURF AREAS AND 2" BELOW TOP OF GRADE OR PAVING IN SHRUB AREAS.
- ALL EXISTING GRADES AND PAD ELEVATIONS SHOWN ARE PER THE CIVIL ENGINEER'S PLANS.
- GENERALLY, ALLOWABLE SLOPES FOR PAVING AND LANDSCAPE AREAS SHALL BE AS FOLLOWS:
 

	MINIMUM	MAXIMUM
CONCRETE WALKS (LONGITUDINAL)	0%	5%
CONCRETE WALKS (CROSS SLOPES)	1%	2%
LANDSCAPE AREAS:	2%	5%
- GRADE BREAK TRANSITIONS CONSTRUCTED IN PAVED AREAS SHALL BE SMOOTH WITHOUT ANY NOTICEABLE POINT.
- THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL CONCRETE FRAMEWORK IN PLACE PRIOR TO THE PLACEMENT OF CONCRETE, AND RESERVES THE RIGHT TO MAKE ANY FIELD MODIFICATIONS AND GRADE ADJUSTMENTS DEEMED NECESSARY. THE FINISH GRADES OF ALL LANDSCAPE AREAS ARE TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.

### CONCRETE

#### GENERAL

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO CONSTRUCT THE CONCRETE IMPROVEMENTS AS SHOWN ON THE DRAWINGS, AND NOTED HEREIN.
- ALL CONCRETE SHALL CONSIST OF PORTLAND CEMENT, FINE AGGREGATE (SAND), COARSE AGGREGATE AND WATER, PROPORTIONED AND MIXED TO ATTAIN 28 DAY COMPRESSIVE STRENGTH OF 2800 PSI WITH A SLUMP NOT TO EXCEED THREE INCHES. CONCRETE REINFORCEMENT PER GEOTECHNICAL REPORTS.
- THE CONTRACTOR SHALL CONFORM WITH ALL APPLICABLE RECOMMENDATIONS CONTAINED IN "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" PUBLICATION # 347-78 OF THE AMERICAN CONCRETE INSTITUTE.

#### MATERIALS

- CEMENT STYLE SHALL BE TYPE I LOW ALKALI PORTLAND CEMENT CONFORMING TO ASTM C-150. THE SAME BRAND OF CEMENT SHALL BE USED THROUGHOUT THE PROJECT.
- WELDED WIRE MESH (WWM) SHALL CONFORM TO ASTM A-185.
- COLOR: NATURAL GRAY EXCEPT WHERE NOTED ON PLANS.
- REINFORCING STEEL FOR PAVING AND WALLS SHALL BE NEW BILLET STEEL BARS CONFORMING TO ASTM A615-68.

#### FORMS

- FORMS SHALL BE FREE OF WARP, SET PLUMB AND TRUE TO LINE AND GRADE WITH UPPER EDGES FLUSH WITH SPECIFIED GRADE OR FINISH SURFACE OF THE CONSTRUCTED IMPROVEMENT, AND NOT MORE THAN 1/2" WIDER THAN THE SPECIFIED THICKNESS OF THE EDGE OF THE CONCRETE TO BE PLACED.
- WOODEN FORMS SHALL HAVE A NET THICKNESS OF AT LEAST 1-1/2" AND SHALL BE FREE FROM IMPERFECTIONS WHICH WOULD IMPAIR THE STRENGTH FOR THE USE INTENDED. BENDERS OR THIN PLANK FORMS MAY BE USED ON CURVES. FORMS SHALL BE SECURED BY NAILING TO SIDE STAKES OF SUFFICIENT LENGTH AND CROSS SECTIONAL AREA TO ADEQUATELY RESIST LATERAL DISPLACEMENT DURING THE PLACEMENT OF CONCRETE.

#### FINISHING

- CONCRETE SURFACES SHALL BE FLOATED PRIOR TO STEEL TROWEL. FORMED EDGES SHALL BE ROUNDED TO A RADIUS OF 1/2" OR AS SPECIFIED ON THE DRAWINGS. EDGES AT EXPANSION JOINTS SHALL BE ROUNDED TO A RADIUS OF 1/4".
- CONCRETE FINISHES SHALL BE AS NOTED ON THE DRAWINGS AND SPECIFIED HEREIN.
- NO ADVERTISING IMPRESSION, STAMPS, OR MARKS OF ANY DESCRIPTION WILL BE PERMITTED ON CONCRETE SURFACES. BROOM FINISH SHALL BE PERFORMED AFTER FINISH TROWELLING BY DRAWING THE FOLLOWING BROOM TYPES ACROSS THE NARROWEST WIDTH OF CONCRETE.
  - MEDIUM BROOM FINISH - PUSH WITH MEDIUM OR STIFF BRISTLES.

#### JOINTS

- SET PREMIXED EXPANSION JOINT STRIP BELOW FINISH GRADE SURFACE. TEMPORARILY SECURED TO THE TOP OF EXPANSION STRIP OR USE PLASTIC FILLER. EXPANSION JOINTS SHALL BE SEALED WITH POLYSULFIDE OR POLYURETHANE. WATERPROOF CAULKING. USE 1/2" EXPANSION JOINTS THROUGHOUT.
- SCORED CONTROL JOINTS SHALL BE TOOLED TO A MINIMUM DEPTH OF 3/4" AND SHALL HAVE A RADIUS OF 1/8".
- EXPANSION JOINTS TO BE 20' O.C.; DEEP TOOLED JOINTS TO BE 10' O.C.; SCORE JOINTS TO BE 5' O.C.

#### CURING COMPOUND

- RESIN-BASE, CLEAR CURING COMPOUND CONFORMING TO ASTM C 309, TYPE 2.

## GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO HISHER WORK.
- LOCATIONS OF UTILITIES SHOWN ARE APPROXIMATE. VERIFY LOCATIONS WITH CIVIL ENGINEERS AND UTILITY PLANS. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND BE HELD ACCOUNTABLE FOR ALL DAMAGES INCURRED.
- THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE CONSTRUCTION OF PLAN FEATURES.
- CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED SIMILAR TO THE DETAILS FOR THE RESPECTIVE MATERIALS.
- SAFETY OF PERSONS AND PROPERTY:
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.
  - THE CONTRACTOR SHALL TAKE REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY, OR LOSS TO, EMPLOYEES ON THE SITE AND OTHER PERSONS WHO MAY BE AFFECTED THEREBY. THE WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF SITE, UNDER CARE, CUSTODY, OR CONTROL OF THE CONTRACTOR OR THE CONTRACTOR'S SUBCONTRACTORS; AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO SUCH AS TREES, SHRUBS, LAWNS, PAVEMENTS, ROADWAYS, STRUCTURES AND UTILITIES.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL FOR USE IS OBTAINED FROM THE OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, AND APPLICABLE GOVERNING AUTHORITY. NO VARIATION FROM DESIGN, MATERIALS, EQUIPMENT, OR PRODUCT SHALL BE ALLOWED WITHOUT SUCH APPROVALS.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF BUILDING, FACE OF WALL OR EDGE OF PAVING, UNLESS OTHERWISE NOTED ON THE PLAN. ALL RADI AND CURVES ARE TO HAVE SMOOTH CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
- ALL FORMS AND ALIGNMENT OF PAVING AND WALL FOOTINGS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO PAVING WITH A MINIMUM OF A 48 HOUR NOTICE REQUIRED.
- CONTRACTOR SHALL NOTE AND INSTALL SLEEVE LOCATIONS AS SHOWN ON IRRIGATION PLANS.
- WALLS AND FENCES ARE SHOWN TO BE CENTERED ON PROPERTY LINES UNLESS OTHERWISE NOTED.
- CONCRETE ENTRY WALKS ARE TO BE CENTERED ON ENTRY STOOPS UNLESS OTHERWISE NOTED.

## GENERAL IRRIGATION NOTES

- THE IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS. ALL VALVES AND SYSTEM EQUIPMENT SHALL BE LOCATED IN SHRUB AREAS WHEREVER POSSIBLE.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED CONTRACTOR IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES/ORDINANCES. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATED TO HIS WORK ON THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH GRADE DIFFERENCES AND WITH ALL LOCATIONS OF STRUCTURES, UTILITIES, AND FENCES. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHERS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH FOOTINGS, UNDER PAVING, ETC. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM PRESSURE AND THE MAXIMUM FLOW DEMAND AS STATED ON THE DRAWINGS FOR EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE, SERVICE LINE SIZE, AND WATER METER SIZE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ACTUAL WATER PRESSURE, SERVICE SIZE, AND METER SIZE WITH THAT INDICATED ON THE DRAWINGS IS TO BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AS WELL AS THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- ALL PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. LATERAL PIPE NOT SIZED ON DRAWINGS AND DOWNSTREAM OF 1" PIPE SHALL BE 3/4" SIZE. NO SUBSTITUTIONS OF SMALLER PIPE SHALL BE PERMITTED. HOWEVER, SUBSTITUTIONS FOR LARGER PIPE SIZES MAY BE APPROVED.
- ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING OR WALLS SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE (MINIMUM 1" SIZE) FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING. UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS ARE TO BE BACKFILLED TO 85% COMPACTION (95% UNDER PAVING) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REVIEW AND VERIFY THE LOCATION AND TYPE OF ELECTRICAL POWER SOURCE IN THE FIELD WITH THE OWNER'S REPRESENTATIVE AND THE IRRIGATION DRAWINGS. ANY DISCREPANCIES MUST BE REPORTED TO BOTH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF ALL CONTROLLER LOCATIONS PRIOR TO INSTALLATION AND SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLERS).
- IRRIGATION CONTROL WIRE SHALL BE #14-1, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE WHITE IN COLOR AND PILOT WIRES SHALL BE A COLOR OTHER THAN WHITE.
- ALL WIRE SPLICES SHALL BE MADE WITHIN VALVE BOXES. SPLICES SHALL BE MADE WITH A COPPER CRIMP-TYPE CONNECTOR AND INSTALLED WITHIN 3/4" BODY SEALING PACK OR APPROVED EQUAL TAPE WIRES IN BUNDLES EVERY 10'.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL NOZZLES AND VALVES FOR OPTIMUM COVERAGE.
- IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL GUARANTEE THAT THE IRRIGATION SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DEFECTIVE MATERIALS OR WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN ACCURATE AS-BUILT SET OF IRRIGATION DRAWINGS PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- ALL IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS, NOZZLES, AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO PAVING, WALKS, WALLS, FENCES, ETC.

## GENERAL PLANTING NOTES

- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND THROUGH THE COMPLETION OF POSTURE WORK.
- CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. PLANT MATERIAL QUANTITIES ARE LISTED FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED.
- VERIFY EXISTING GRADE IN FIELD PRIOR TO PLANTING. EXISTING GRADE SHALL BE WITHIN ONE TENTH (1/10) OF A FOOT OF FINISH GRADE. FINISH GRADE SHALL BE 1" INCH BELOW TOP OF CURB AND/OR PAVING IN TURF AREAS AND 2" INCHES BELOW TOP OF CURB OR PAVING IN GROUND COVER AREAS.
- PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- PRIOR TO EXCAVATION, CONTRACTOR SHALL VERIFY LOCATIONS OF UNDERGROUND UTILITIES.
- PRIOR TO START OF PROJECT CONTRACTOR SHALL SUBMIT SOURCES OF PLANT MATERIALS AND TREES TO LANDSCAPE ARCHITECT.
- PRIOR TO INSTALLATION, ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE. PLANT MATERIALS REJECTED FOR THE PROJECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE.
- LANDSCAPE ARCHITECT SHALL APPROVE ALL TREE LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT MIN. 72 HOURS PRIOR TO SCHEDULE TREE APPROVAL SITE VISIT. ANY AND ALL TREES INSTALLED SHOULD BE SUBJECT TO RELOCATION AT CONTRACTOR'S EXPENSE.
- PRIOR TO PLANTING, ALL PLANTING AREAS SHALL BE FREE OF WEEDS, ROCKS, AND DEBRIS.
- THE SOILS AMENDMENTS SPECIFIED HEREIN ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A SOILS AGRONOMY REPORT FROM AN APPROVED SOILS LABORATORY PRIOR TO THE INSTALLATION OF PLANT MATERIAL. FOR THE AREA TO BE PLANTED, THE FOLLOWING AMENDMENTS SHALL BE CROSS RIPPED OR EQUALLY CULTIVATED BY MEANS OF ROTOTILLING A UNIFORM DEPTH OF 12 INCHES AS FOLLOWS. EXCEPT IN AREAS WITH SLOPES OF 3:1 OR GREATER, IN THESE AREAS AMENDMENTS SHOULD BE INSTALLED OR ADDED PER PLANTING DETAILS FOR EACH INDIVIDUAL PLANT.
 

AMOUNT PER 1,000 SQUARE FEET	
-4 CU YDS. NITROGEN STABILIZED ORGANIC AMENDMENT DERIVED FROM REDWOOD, FIR, OR CEDAR SAWDUST	
-35LBS. 8-20-20 PELLETTIZED FERTILIZER	
-100LBS. AGRICULTURAL GYPSUM	
-13 LBBS. SOIL SULFUR	
- ALL SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. ONCE THE PROJECT SITE HAS BEEN ROUGH GRADED CONTRACTOR SHALL OBTAIN A SOILS AGRONOMY REPORT AND SUBMIT ONE COPY TO THE OWNER'S REPRESENTATIVE AND ONE TO THE LANDSCAPE ARCHITECT. THE SOIL PREPARATION AND AMENDMENT RECOMMENDATIONS INCLUDED IN THE SOILS REPORT SUPERCEDE THESE NOTES AND SHALL BE FOLLOWED BY THE CONTRACTOR.
- THE PLANTING PIT PERIMETERS FOR TREES AND SHRUBS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE ROOTBALL, AS NOTED AND SHOWN ON THE PLANTING DETAILS. THE PITS SHALL BE SCARPED. THE ROOTBALL SHALL BE SET ON UNDISTURBED SOIL AND THE GROWN SHALL BE SET 1" ABOVE FINISH GRADE. A 3" BERM SHALL BE CREATED AROUND THE PLANT PIT AND MULCHED WITH 3" MINIMUM BARK MULCH.
 

-6 PARTS ON-SITE SOIL
-4 PARTS BY VOLUME ORGANIC AMENDMENT PER ABOVE (#9) SOIL PREP MIX.
-2 LBS/CU. YD. MIX OF 6-20-20 IRON SULFATE
-5 LBS/CU. YD. MIX AGRICULTURAL GYPSUM
- THIRTY DAYS AFTER INSTALLATION ALL LANDSCAPE AREAS SHALL BE FERTILIZED WITH APPROVED 16-6-6 FERTILIZER APPLIED AT A RATE OF SIX (6) POUNDS PER 1000 SQ.FT. FERTILIZER APPLICATION SHALL BE CONTINUED THEREAFTER AT 60 DAY INTERVALS.
- FERTILIZER TABLETS SHALL BE AGRIFORM, 21 GRAM TABLETS (20-10-5) OR EQUAL IN QUANTITIES AS FOLLOWS:
 

-1 GALLON SHRUB 1
-5 GALLON SHRUB 3
-15 GALLON SHRUB OR TREE 4
-24" BOX TREE & LARGER 1 PER 4" OF BOX SIZE
-PLACE TABLETS AT HALF THE DEPTH OF THE ROOTBALL.
- ALL SHRUB AND FALLOW AREAS TO RECEIVE 3" MINIMUM DEPTH OF SHREDDED RECYCLED WOOD MULCH WITH NATURAL BROWN COLOR (PHE ADDED). BARK COLORING TO BE MUD WOODS BROWN, OR APPROVED EQUAL. PRE-DYED RECYCLED WOOD MULCH PROVIDED BY WASTE MANAGEMENT/ EARTH CARE, A DIVISION OF WASTE MANAGEMENT RECYCLE AMERICA (877) 963-2784.
- PRIOR TO COMPLETION, THE LANDSCAPE ARCHITECT SHALL REVIEW THE PROJECT LANDSCAPE FOR COMPLIANCE OF INSTALLATION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF 72 HOURS PRIOR TO A SITE VISIT.
- TREE SETBACKS SHALL BE THE FOLLOWING, OR AS PER LOCAL CODES AND ORDINANCES:
 

-6' FROM PAVED SURFACES
-6' FROM WATER METERS AND JOINT TRENCHES
-20' FROM STREETLIGHTS
-10' FROM SANITARY SEWER LINES
- ALL TREES PLANTED WITHIN 5' OF PAVING, WATER METERS, OR JOINT TRENCHES SHALL RECEIVE LINEAR RECYCLED PLASTIC ROOT BARRIERS PARALLEL TO CURB AND WALKS EACH SIDE (24" DEPTH X 4" LENGTH, MIN.) MANUF. DEEPROOT. RUB-24-2. (800) 458-7668.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL SHRUBS ARE FREE FROM DEFECT IN MATERIAL OR WORKMANSHIP FOR A PERIOD OF 90 DAYS AFTER FINAL ACCEPTANCE OF WORK. TREES SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF WORK. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE PLANT MATERIAL OR WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER DURING THIS PERIOD.

WINDING CREEK  
PH.3, VILLAGE 22  
PRODUCTION  
LANDSCAPE PLANS



403 Shaker Road Suite #200  
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NO.	DATE	BY	REVISIONS



1400 POLARIS DRIVE, SUITE 100, ROSA, CA 95050

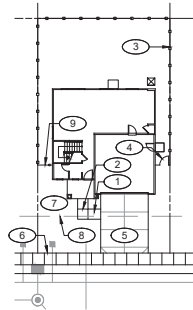
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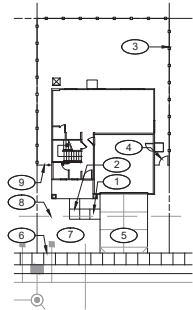
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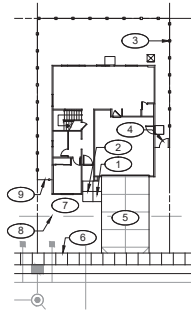
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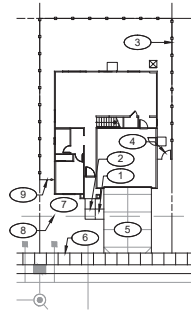
PLAN 3521 - IN-LINE



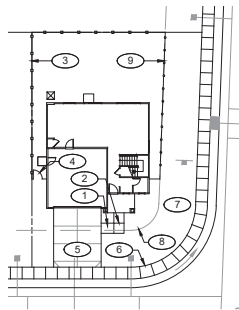
PLAN 3522 - IN-LINE



PLAN 3524 - IN-LINE



PLAN 3526 - IN-LINE



TYPICAL CORNER  
PLAN 3521 FOR REFERENCE

## CONSTRUCTION CALLOUT LEGEND

- ① CONCRETE PAVING. FINISH: MEDIUM BROOM. COLOR: NATURAL GRAY  
SEE DETAIL A / L-6.0.
- ② CONCRETE SCORELINE. TYPICAL.
- ③ GOOD NEIGHBOR FENCE. SEE DETAIL C / L-6.0.
- ④ WOOD GATE. SEE DETAIL B / L-6.0.
- ⑤ CONCRETE DRIVEWAY PER CIVIL ENGINEER'S PLAN. SCORELINES NOT TO EXCEED 6' x 6'. SEE DETAIL F / L-6.0.
- ⑥ SIDEWALK PER CIVIL ENGINEER'S PLANS.
- ⑦ PLANTING AREA. TYPICAL.
- ⑧ PUBLIC UTILITY EASEMENT.
- ⑨ 6' ENHANCED WOOD FENCE FOR ALL PUBLIC FACING FENCES.  
SEE DETAIL G / L-6.0.

- REFER TO SHEET L-1.0 FOR GENERAL NOTES & SPECIFICATIONS.
- REFER TO SHEET L-6.0 FOR CONSTRUCTION DETAILS.



WINDING CREEK  
PH.3, VILLAGE 22  
PRODUCTION  
LANDSCAPE PLANS



601 S. River Road, Suite #200  
West Sacramento, CA 95605

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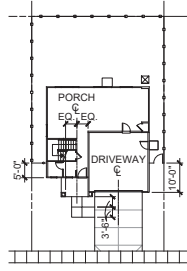
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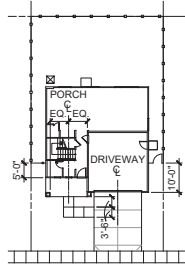
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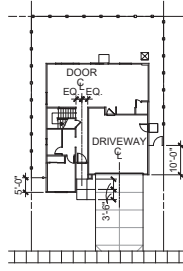
# Exhibit C



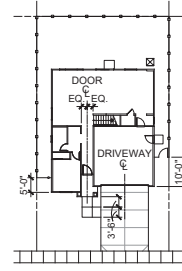
PLAN 3521 - IN-LINE



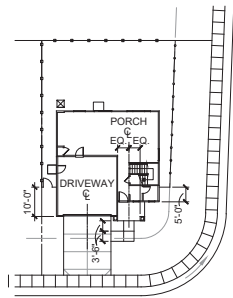
PLAN 3522 - IN-LINE



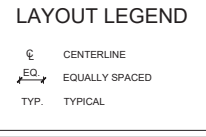
PLAN 3524 - IN-LINE



PLAN 3526 - IN-LINE



TYPICAL CORNER  
PLAN 3521 FOR REFERENCE



- REFER TO SHEET L-1.0 FOR GENERAL NOTES & SPECIFICATIONS.
- REFER TO SHEET L-6.0 FOR CONSTRUCTION DETAILS.



WINDING CREEK  
PH.3, VILLAGE 22  
PRODUCTION  
LANDSCAPE PLANS



601 S. River Road, Suite #200  
West Sacramento, CA 95605

NO.	DATE	BY	REVISIONS



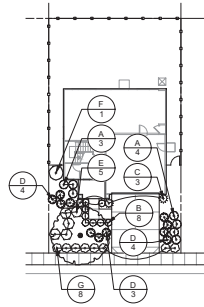
WINDING CREEK PHASE 3, VILLAGE 22  
PRODUCTION LANDSCAPE PLANS  
**LAYOUT PLAN**  
ROSEVILLE, CALIFORNIA



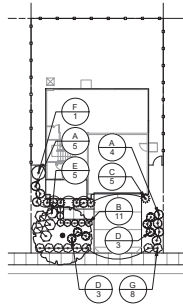
DATE	APRIL 8, 2022
DRAWN	MM
DESIGNED	RS
CHECKED	SH
JOB NO.	8122009.0

SHEET NO.  
**L-3.0**

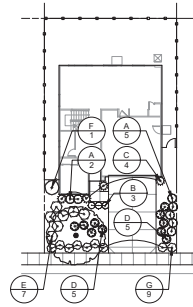
# Exhibit C



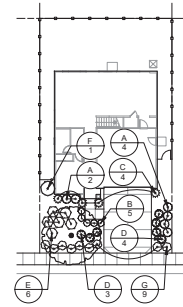
PLAN 3521 - IN-LINE



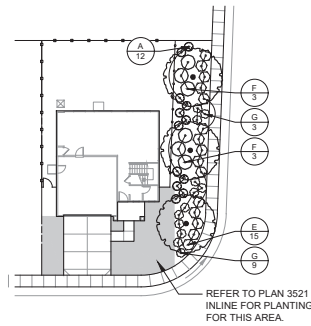
PLAN 3522 - IN-LINE



PLAN 3524 - IN-LINE



PLAN 3526 - IN-LINE



TYPICAL CORNER  
PLAN 3521 FOR REFERENCE

- NOTES:**
- ALL STREET TREES SHALL BE A MINIMUM 15 GALLON SIZE.
  - ALL STREET TREES SHALL BE PLANTED WITH ROOT DEFLECTION PANELS PER CITY'S STANDARD.
  - ALL TREES SHALL BE PLANTED AND STAKED PER CITY'S STANDARD.
  - ALL TREES SHALL AVOID CONFLICTS WITH PAVING, STREET SIGNAGE, STREET LIGHTS AND OTHER UTILITIES.
  - TREE SETBACKS SHALL BE THE FOLLOWING, OR AS PER LOCAL CODES AND ORDINANCES:  
 - 6' FROM PAVED SURFACES  
 - 10' FROM WATER METERS AND JOINT TRENCHES  
 - 20' FROM STREETLIGHTS  
 - 10' FROM SANITARY SEWER LINES
  - TREE LOCATIONS ARE SCHEMATIC. CONTRACTOR SHALL LOCATE TREE BASED ON DRIVEWAY, WALK AND UTILITY LOCATIONS.

REFER TO PLAN 3521  
IN-LINE FOR PLANTING FOR THIS AREA.

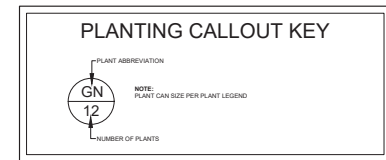
**MWELO STATEMENT OF COMPLIANCE**  
 "I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPING ORDINANCE AND APPLIED SUCH CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."  
  
 SUSAN HEIKEN, PLA CA LICENSE # 6292  
 STUDIO #515

SHRUB LEGEND								
		ELEVATION 'A'		ELEVATION 'C'		ELEVATION 'E'		
ABBR.	EXPOSURE	SIZE	BOTANICAL NAME COMMON NAME	WATER USE (WUCOLS)	BOTANICAL NAME COMMON NAME	WATER USE (WUCOLS)	BOTANICAL NAME COMMON NAME	WATER USE (WUCOLS)
A	SW: SUN NE: SHADE	5 GAL	TEUCRIUM FRUTICANS 'AZUREUM' BUSH GERMANDER PITTOSPORIUM C. 'NANA' DWARF KARE	LOW MOD	CALLISTEMON 'LITTLE JOHN' ISLAND BUSH SNAPDRAGON BUXUS M. 'JAPONICA 'GREEN BEAUTY' BOXWOOD	LOW LOW	GALVEZIA SPECIOSA ISLAND BUSH SNAPDRAGON GALVEZIA SPECIOSA ISLAND BUSH SNAPDRAGON	LOW LOW
B	SW: SUN NE: SHADE	1 GAL	TULBAGHIA VIOLACEA 'VARIEGATA' SOCIETY GARLIC AGAPANTHUS 'STORM CLOUD' LILY-OF-THE-NILE	LOW MOD	LAVANDULA STOECHAS 'OTTO QUAST' SPANISH LAVENDER MYRTUS C. 'COMPACTA' DWARF MYRTLE	LOW LOW LOW	FESTUCA MAIREI ATLAS FESCUE FESTUCA MAIREI ATLAS FESCUE	LOW LOW LOW
C	SW: SUN NE: SHADE	1 GAL	HESPERALOE PARVIFOLIA RED YUCCA HESPERALOE PARVIFOLIA RED YUCCA	LOW LOW	CHONDRPETALUM TECTORUM SMALL CAPE RUSH CHONDRPETALUM TECTORUM SMALL CAPE RUSH	LOW LOW LOW	PHORMIUM 'RED HEART' NEW ZEALAND FLAX PHORMIUM 'RED HEART' NEW ZEALAND FLAX	LOW LOW LOW
D	SW: SUN NE: SHADE	1 GAL	VERBENA BONARIENSIS 'LOLLIPOP' DWARF PURPLE TOP IRIS DOUGLASIANA 'CAINY SNOW' DOUGLAS IRIS	LOW LOW	CALAMAGROSIS A. 'KARL FOERSTER' FEATHER REED GRASS CALAMAGROSIS A. 'KARL FOERSTER' FEATHER REED GRASS	LOW LOW LOW	VERBENA LILACINA 'DE LA MINA' CEDROS ISLAND VERBENA VERBENA LILACINA 'DE LA MINA' CEDROS ISLAND VERBENA	LOW LOW LOW
E	SW: SUN NE: SHADE	5 GAL	SALVIA 'PURMAN'S RED' AUTUMN SAGE SALVIA 'PURMAN'S RED' AUTUMN SAGE	LOW LOW	SALVIA LEUCANTHA MEXICAN BUSH SAGE LOROPETALUM C. 'PURPLE DIAMOND' CHINESE FRINGE FLOWER	LOW LOW LOW	CISTUS X PURPUREUS ORCHID ROCKROSE VIBURNUM DAVIDII DAVID'S VIBURNUM	LOW MOD MOD
F	SW: SUN NE: SHADE	5 GAL	GREVILLEA 'NOELI' GREVILLEA RHAMNUS C. 'MOUND SAN BRUNO' COFFEE BERRY	LOW LOW	DODONAEA V. 'PURPUREA' PURPLE HOPSEED BUSH CARPENTERIA C. 'ELIZABETH' BUSH ANEMONE	LOW LOW LOW	WESTRINGIA FRUTICOSA COAST ROSEMARY VIBURNUM T. 'SPRING BOUQUET' LAURUSTINUS	LOW MOD MOD
G	SW: SUN NE: SHADE	1 GAL	MYOPORIUM PARVOLIUM PROSTRATE MYOPORIUM MYOPORIUM PARVOLIUM PROSTRATE MYOPORIUM	LOW LOW	ROSMARINUS O. 'PROSTRATUS' PROSTRATE ROSEMARY ROSMARINUS O. 'PROSTRATUS' PROSTRATE ROSEMARY	LOW LOW LOW	HELIANTHEMUM N. 'HENFIELD BRILLIANT' SUNROSE HELIANTHEMUM N. 'HENFIELD BRILLIANT' SUNROSE	LOW LOW LOW

- REFER TO SHEET L-1.0 FOR PLANTING NOTES & SPECIFICATIONS.
- REFER TO SHEET L-7.0 FOR PLANTING DETAILS.



TREE SCHEDULE	
	<b>STREET TREE: ACER BUERGERIANUM</b> • RAVENROCK WAY (N)
	<b>STREET TREE: ARBUTUS UNEDO</b> • RAVENROCK WAY (E) • RAVENROCK PLACE • WOODLANDS LOOP (E)
	<b>STREET TREE: LAURUS NOBILIS 'SARATOGA'</b> • WOODLANDS LOOP (S) • TRAIN WHISTLE PLACE
	<b>STREET TREE: PISTACIA C. 'KEITH DAVEY'</b> • WOODLANDS LOOP (W) • FRISBEE DRIVE • FRISBEE PLACE



WINDING CREEK  
PH.3, VILLAGE 2-  
PRODUCTION  
LANDSCAPE PLANS



401 Shasta Road Suite #200  
West Sacramento, CA 95605

NO.	DATE	BY	REVISIONS



1400 FOURTH STREET, ANAHEIM, CA 92805  
TEL: 714.944.1515  
WWW.STUDIO1515.COM

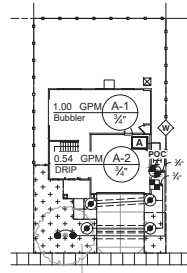
WINDING CREEK PHASE 3, VILLAGE 22  
PRODUCTION LANDSCAPE PLANS  
TREE & SHRUB PLAN  
ROSEVILLE, CALIFORNIA



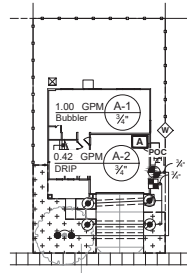
DATE	APRIL 8, 2022
DRAWN	MM
DESIGNED	RB
CHECKED	SH
JOB NO.	8122009.0

SHEET NO.  
L-4.0

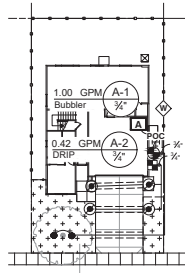
# Exhibit C



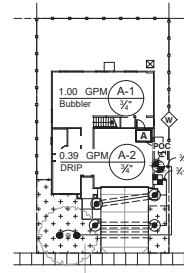
PLAN 3522 - IN-LINE



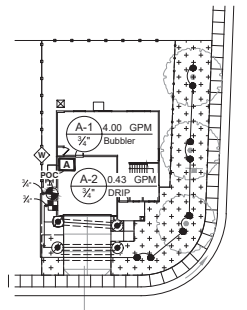
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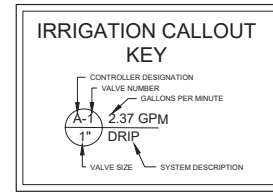
PLAN 3524 - IN-LINE



PLAN 3526 - IN-LINE



TYPICAL CORNER  
PLAN 3521 FOR REFERENCE



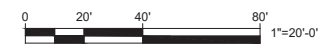
IRRIGATION SCHEDULE	
<b>SYMBOL</b>	<b>MANUFACTURER/MODEL</b>
	RAIN BIRD RWS-B-C-SOCK 1401
<b>SYMBOL</b>	<b>MANUFACTURER/MODEL</b>
	RAIN BIRD XACZ-675-PRF
	PIPE TRANSITION POINT ABOVE GRADE
	AREA TO RECEIVE DRIP EMITTERS
	RAIN BIRD XB-PC
Emitter Notes:	
	0.5 GPH emitters (1 assigned to each rosepot plant)
	0.5 GPH emitters (1 assigned to each 1 gal. plant)
	0.5 GPH emitters (2 assigned to each 2 gal. plant)
	0.5 GPH emitters (2 assigned to each 5 gal. plant)
	0.5 GPH emitters (4 assigned to each 15 gal. plant)
<b>SYMBOL</b>	<b>MANUFACTURER/MODEL/DESCRIPTION</b>
	RAIN BIRD ASVF
	ELECTRIC REMOTE CONTROL VALVE, WITH ATMOSPHERIC BACKFLOW PREVENTER. 3/4", 1" AVAILABLE.
	RAIN BIRD TM2-S-120V
	8 STATION 120V MODEL. SUITABLE FOR INDOOR OR OUTDOOR INSTALLATIONS FACTORY-INSTALLED OUTDOOR-RATED POWER CORD. LINK WIFI READY.
	RAIN BIRD WR2-RC
	WIRELESS RAIN SENSOR COMBO. INCLUDES 1 RECEIVER AND 1 RAIN SENSOR TRANSMITTER.
	POINT OF CONNECTION 3/4"
	3/4" IRRIGATION POINT OF CONNECTION TO BE CONNECTED TO IRRIGATION WATER LINE PER CIVIL ENGINEER'S PLANS.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	PIPE SLEEVE: PVC SCHEDULE 40

**IRRIGATION LAYOUT NOTE**

THE IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED AREA IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE PLANTING AREAS WHERE POSSIBLE. ALL VALVES AND SYSTEM EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS. CONTRACTOR SHALL INSTALL MAINLINE AND LATERALS CLEAR OF JOINT TRENCH AND OTHER UTILITIES PER CODE.

IRRIGATION DESIGN IS BASED ON A MINIMUM 1" SERVICE LINE, 5/8" METER, STATIC WATER PRESSURE OF 50 P.S.I. AND A MAXIMUM FLOW RATE OF 5 GPM

- REFER TO SHEET L-1.0 FOR IRRIGATION NOTES & SPECIFICATIONS
- REFER TO SHEET L-8.0 FOR IRRIGATION DETAILS
- REFER TO SHEET L-9.0 FOR MWEL0 CALCULATIONS.



WINDING CREEK PH.3, VILLAGE22- PRODUCTION LANDSCAPE PLANS

**Heritage Hortics**  
403 S. Market Road, Suite #204  
West Sacramento, CA 95605

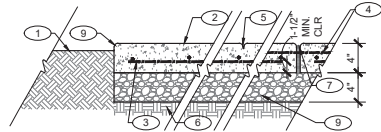
BY: JAYD  
DATE: \_\_\_\_\_  
NO. \_\_\_\_\_  
REVISED: \_\_\_\_\_

**STUDIO 1515**  
LANDSCAPE ARCHITECTURE  
1430 FOURTH STREET, SUITE 100, SAN RAFAEL, CA 94903  
(415) 452-1515

WINDING CREEK PHASE 3, VILLAGE 22  
PRODUCTION LANDSCAPE PLANS  
IRRIGATION PLAN  
ROSEVILLE, CALIFORNIA

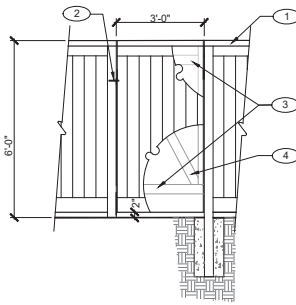
DATE: APRIL 8, 2022  
DRAWN: MNI  
DESIGNED: RIB  
CHECKED: SH  
JOB NO.: 8122009.0  
SHEET NO.: L-5.0

# Exhibit C



- 1 FINISH GRADE - 2" BELOW TOP OF PAVING AT SHRUB AREAS.
- 2 CONCRETE SLAB: MEDIUM BROOM FINISH.
- 3 #3 REBAR @ 18" O.C. BOTH WAYS.
- 4 #3 REBAR SLIP DOWELS, EXTEND 12" INTO CONCRETE, 18" O.C., @ ALL EXPANSION JOINTS AND WHERE NEW CONCRETE IS INSTALLED ADJACENT TO EXISTING CONCRETE.
- 5 1/4" WIDE CONTROL JOINT, 1/3 DEPTH OF SLAB. SEE PLANS FOR LOCATION.
- 6 SUBGRADE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.
- 7 1/2" IMPREGNATED ASPHALTIC FIBER EXPANSION JOINT (20' O.C. MAX) AND WHERE PAVING MEETS EXISTING PAVING, BLDG SLABS, STRUCTURES, TYP.
- 8 1/2" TOOLED RADIUS.
- 9 CLASS II AGGREGATE BASE MOISTURE CONDITIONED AND COMPACTED TO 95% RELATIVE COMPACTION. SHALL BE FIRM AND UNYIELDING WHEN PROOF ROLLED.

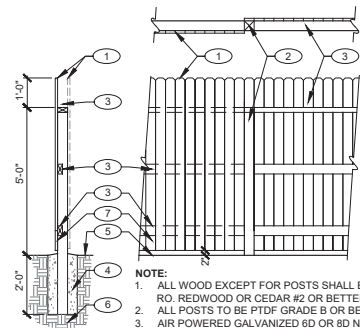
**A CONCRETE PAVING**  
SCALE: 1-1/2" = 1'-0"



- 1 ENHANCED FENCE- SEE DETAIL G THIS SHEET
- 2 GATE LATCH PER HOME STANDARD
- 3 2x4 TOP AND BOTTOM BRACE
- 4 2x4 DIAGONAL BRACE

NOTE:  
1. ALL WOOD TO BE CONSTRUCTION GRADE REDWOOD  
2. ALL NAILS TO BE HOT-DIPPED GALVANIZED.  
3. GATE WIDER THAN 3' REQUIRE A 4x6 POST HINGE SIDE ONLY

**B WOOD GATE**  
SCALE: 1/2" = 1'-0"

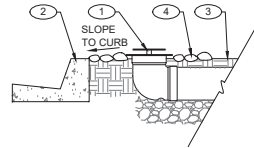


- 1 1x4x6' DOG EARED ROUGH SAWN FENCE BOARDS.
- 2 4x4x7' POST AT 8' O.C. MAX
- 3 THREE 2x4x8' RAILS.
- 4 12"x24" CONCRETE FOOT SLOPED TO DRAIN, CUT KICKBOARD AROUND FOOTING.
- 5 FINISH GRADE.
- 6 UNDISTURBED NATIVE GRADE OR ENGINEERED FILL PER SOILS REPORT.

NOTE:  
1. ALL WOOD EXCEPT FOR POSTS SHALL BE CONSTRUCTION HRT. RO. REDWOOD OR CEDAR #2 OR BETTER.  
2. ALL POSTS TO BE PTDF GRADE B OR BETTER.  
3. AIR POWERED GALVANIZED 6D OR 8D NAILS AT FENCE BOARDS, 16D GALVANIZED FRAME NAILS.

**C 6' GOOD NEIGHBOR FENCE**  
SCALE: 1/2" = 1'-0"

- 1 DRAINAGE BUBBLE-UP OUTLET PER CIVIL ENGINEER.
- 2 CONCRETE CURB PER CIVIL ENGINEER.
- 3 FINISH GRADE.
- 4 ROUND COBBLE AROUND DRAINAGE OUTLET.

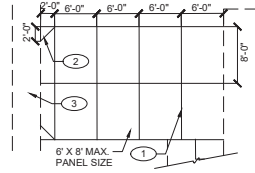


**D DRAINAGE OUTLET W/COBBLE**  
SCALE: N.T.S.

NOTES:  
1. MAILBOXES SHALL BE 'CLUSTER MAILBOX CBU UNIT WITH PEDESTAL' AVAILABLE THROUGH CUSTOM HOME ACCESSORIES. COLOR: SANDSTONE  
<https://store.mailboxes.info/cluster-box-unit-12.html>  
1-800-2650041  
2. REFER TO MANUFACTURER'S SPECIFICATIONS AND INSTALLATION REQUIREMENTS FOR CONCRETE PAD, LAYOUT DIMENSIONS AND CONNECTIONS.  
3. FINAL CBU MAILBOX DOOR NUMBER TO BE VERIFIED WITH POST OFFICE.



**E MAILBOX UNITS**  
SCALE: 1/2" = 1'-0"

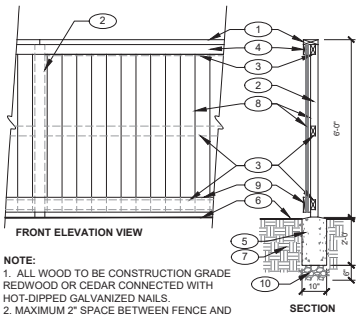


- 1 6' X 8' MAX. PANEL SIZE W/ SCORE JOINT
- 2 ANGLE AT 2' MAX. (BACK OF WALK)
- 3 CONCRETE SIDEWALK PER CIVIL ENGINEER.

NOTE: CONCRETE DRIVEWAY INSTALLED PER CIVIL IMPROVEMENTS. REFER TO CIVIL DETAILS FOR MORE INFORMATION.

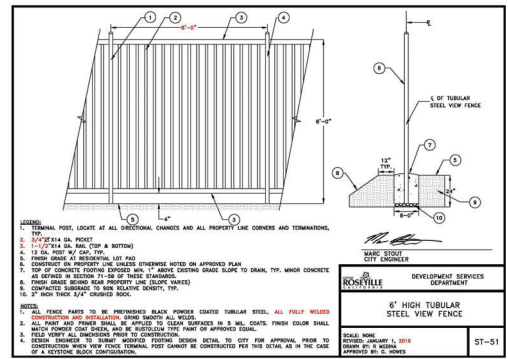
**F TYPICAL DRIVEWAY SCORING LAYOUT**  
SCALE: 1/8" = 1'-0"

- 1 2x6 REDWOOD RAIL, FLAT AT TOP
- 2 4x4 PTCT POST @ 7'-6" O.C., TYP.
- 3 2 X 4 TOP, MID & BOTTOM RAILS, ONE SIDE
- 4 1 X 4 FACIA BOARD
- 5 10" X 24" CONCRETE FOOTING SLOPED TO DRAIN
- 6 FINISH GRADE
- 7 UNDISTURBED NATIVE GRADE OR ENGINEERED FILL PER SOILS REPORT
- 8 1 X 6 BOARDS
- 9 1 x 6 FACIA BOARD, ONE SIDE
- 10 6" AGG. DRAIN ROCK



NOTE:  
1. ALL WOOD TO BE CONSTRUCTION GRADE REDWOOD OR CEDAR CONNECTED WITH HOT-DIPPED GALVANIZED NAILS.  
2. MAXIMUM 2" SPACE BETWEEN FENCE AND FINISH GRADE.  
3. FENCE TO BE PAINTED WITH SHERWIN WILLIAMS SW7051 ANALYTICAL GRAY.

**G ENHANCED WOOD FENCE**  
SCALE: 1/2" = 1'-0"



NOTES:  
1. TYPICAL POST, LOCATE AT ALL DIRECTIONAL CHANGES AND ALL PROPERTY LINE CORNERS AND TERMINATIONS.  
2. 1 1/2" DIA. GAL. POST  
3. 1 1/2" DIA. GAL. RAIL TOP & BOTTOM  
4. 1 1/2" DIA. GAL. POST W/ GAL. TOP  
5. SLOPE GRADE AT MINIMUM 1% TO DRAIN  
6. CONTACTED ON PROPERTY LINE UNLESS OTHERWISE NOTED ON APPROVED PLAN  
7. 10" X 24" CONCRETE FOOTING, DRAINAGE SLOPE TO DRAIN, TYP. MINOR CONCRETE TO BE PAINTED TO MATCH FINISH GRADE  
8. FINISH GRADE SHOULD BEAT PROPERTY LINE (SLOPE VARIES)  
9. OPERATED SLOPING TO BE SLOPING 1% TO 10" X 24" CONCRETE FOOTING  
10. 2" MIN THICK 3/4" CRUSHED ROCK  
11. ALL FENCE PARTS TO BE IMPREGNATED BLACK FINISH CENTER TUBULAR STEEL, ALL FINELY WELDED  
12. ALL FINISH WOOD SHALL BE CONSTRUCTION GRADE REDWOOD OR CEDAR #2 OR BETTER, FINISH COLOR SHALL BE SHERWIN WILLIAMS SW7051 ANALYTICAL GRAY  
13. FINISH GRADE SHOULD BEAT PROPERTY LINE UNLESS OTHERWISE NOTED ON APPROVED PLAN  
14. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
15. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
16. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
17. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
18. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
19. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION  
20. FENCE MUST BE PAINTED PRIOR TO CONSTRUCTION

ROSEVILLE DEVELOPMENT SERVICES DEPARTMENT  
6' HIGH TUBULAR STEEL VIEW FENCE  
SCALE: 1/8" = 1'-0"  
DATE: APRIL 8, 2022  
DRAWN: MNI  
DESIGNED: RIB  
CHECKED: SH  
JOB NO.: 8122009.0  
SHEET NO.: L-6.0

**H VIEW FENCE**  
SCALE: N.T.S.

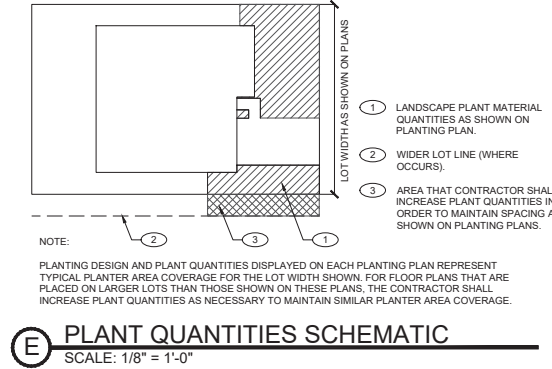
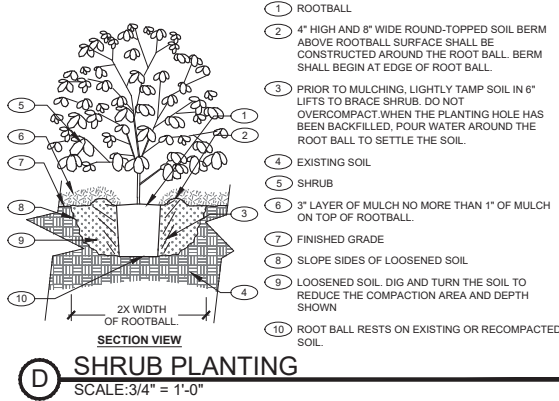
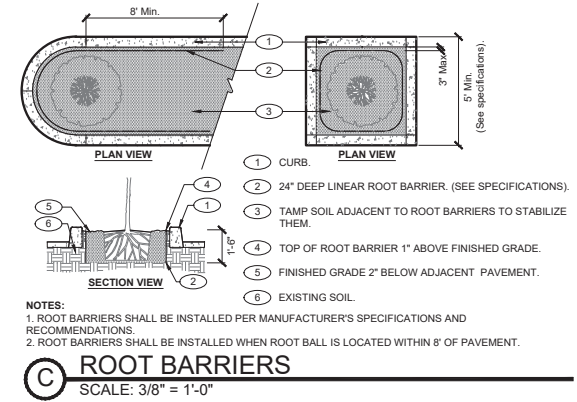
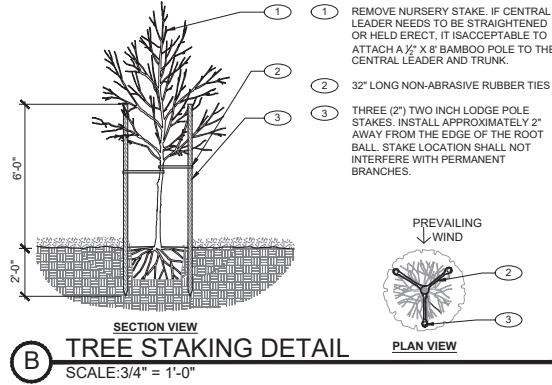
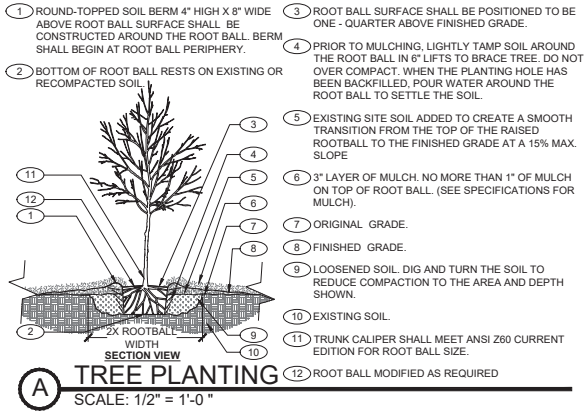
WINDING CREEK PH.3, VILLAGE 22 PRODUCTION LANDSCAPE PLANS

Heritage Hortus  
401 S. Market Road Suite 4200  
West Sacramento, CA 95605

STUDIO 1515 LANDSCAPE ARCHITECTURE  
1403 FOURTH STREET, SAN JOSE, CA 95128

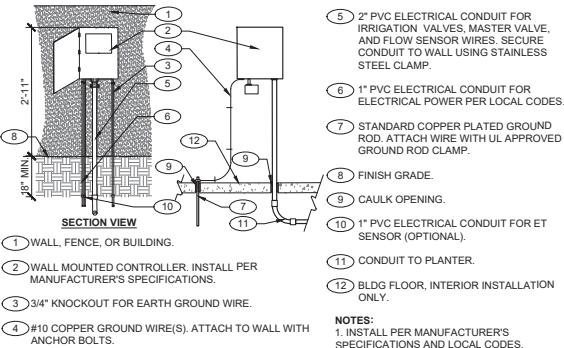
WINDING CREEK PHASE 3, VILLAGE 22 PRODUCTION LANDSCAPE PLANS CONSTRUCTION DETAILS ROSEVILLE, CALIFORNIA

DATE: APRIL 8, 2022  
DRAWN: MNI  
DESIGNED: RIB  
CHECKED: SH  
JOB NO.: 8122009.0  
SHEET NO.: L-6.0

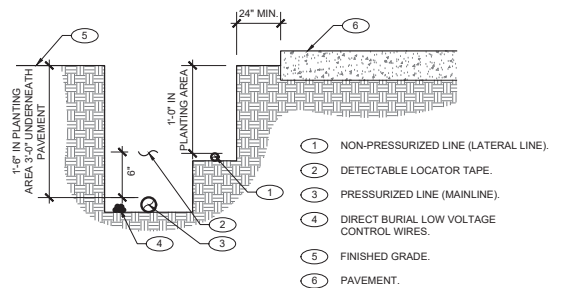


NO.	DATE	BY	REVISIONS

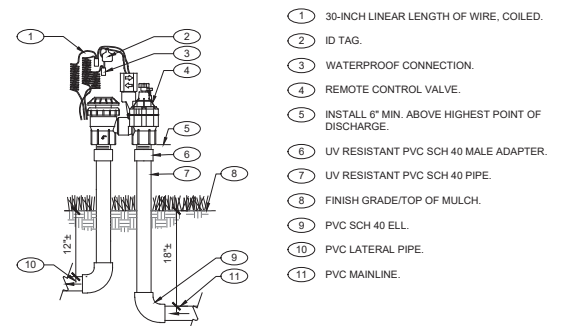
DATE	APRIL 8, 2022
DRAWN	MM
DESIGNED	RB
CHECKED	SH
JOB NO.	8122009.0



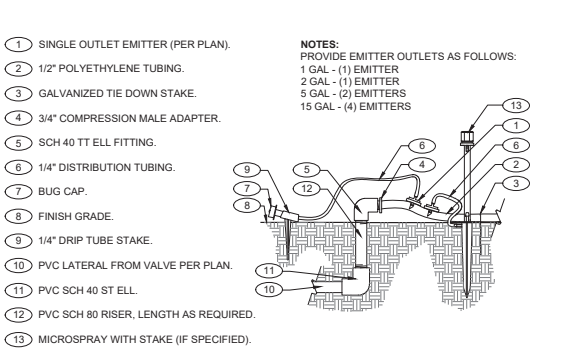
**A WALL MOUNTED CONTROLLER**  
SCALE: NTS



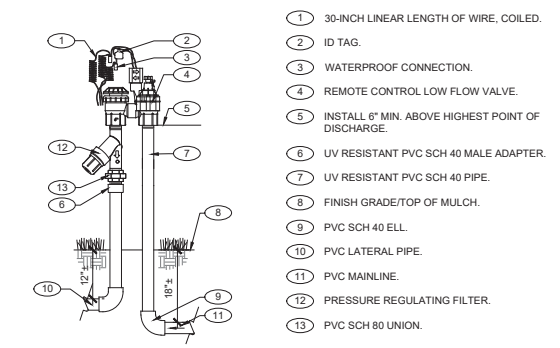
**D TRENCHING**  
SCALE: NTS



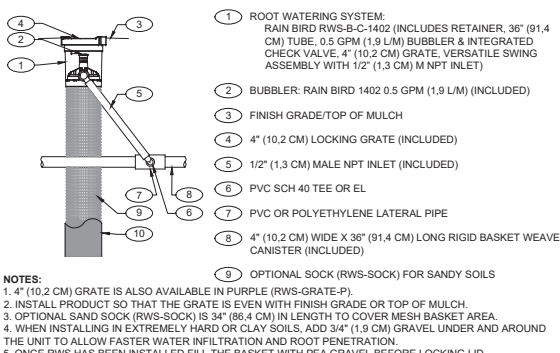
**B ANTI-SIPHON REMOTE CONTROL VALVE**  
SCALE: NTS



**E ON-SURFACE DRIP**  
SCALE: NTS



**C ANTI-SIPHON RC LOW FLOW VALVE**  
SCALE: NTS



**F ROOT WATERING SYSTEM**  
SCALE: 1-1/2" = 1'-0"

WINDING CREEK PH.3, VILLAGE 22  
PRODUCTION LANDSCAPE PLANS  
IRRIGATION DETAILS  
ROSEVILLE, CALIFORNIA

Meritage Homes  
401 Shiloh Road, Suite #200  
West Sacramento, CA 95665

STUDIO 1515  
LANDSCAPE ARCHITECTURE  
1405 FOURTH STREET, SUITE 100  
ROSEVILLE, CA 95678

DATE	APRIL 8, 2022
DRAWN	MM
DESIGNED	RB
CHECKED	SH
JOB NO.	8122009.0
SHEET NO.	L-8.0

# Exhibit C

### Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.3 Model Water Efficient Landscape Ordinance

Site Information  
 Site Name: Winding Creek Ph.3 Plan 3521 - Typical In-line  
 Site Type: Residential  
 Annual Eto (Inches/Yr): 32.2  
 Allowed ETAW: 0.55

Hydrozone or Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (%)	ETAW (PF)(IE)	Landscape Area (sq-ft)	ETAW x Area	*Estimated Total Water Use (Gal./Yr.)
<b>Regular Landscape Areas</b>							
WOOD SHRUBS	0.4	Mod./Auto.	Drip	0.81	0.3	162	2,124
WOOD TREES	0.4	Mod./Auto.	Bubbler	0.81	0.3	9	144
SUBTOTAL →							3,270
<b>Special Landscape Areas</b>							
1	1	0	0	0	0	0	0
2	1	0	0	0	0	0	0
3	1	0	0	0	0	0	0
SUBTOTAL →							0
*Maximum Allowed Water Allowance (MAWA) =							3,270

(a) Hydrozone & Planting Description  
 1) Front Lawn  
 2) Low water use planting  
 3) Medium water use

(b) Irrigation Method  
 Overhead Spray  
 Drip  
 Bubbler

(c) Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

(d) ETAW (Annual Gallons Required)  
 Eto x PF x IE = ETAW x Area where  
 0.82 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAW is 0.55 for residential areas and 0.45 for non-residential areas.

ETAW Calculations

Regular Landscape Areas	Total ETAW x Area	3,270
	Total Area	375
	Average ETAW	0.49
All Landscape Areas	Total ETAW x Area	3,270
	Total Area	375
	Average ETAW	0.89

Notes:  
 Average ETAW (ET adjustment factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.  
 Calculator developed to meet code effective Jan. 1, 2015. This calculator is for estimating purposes only.

**A PLAN 3521 - INLINE**  
 SCALE: nts

### Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.3 Model Water Efficient Landscape Ordinance

Site Information  
 Site Name: Winding Creek Ph.3 Plan 3522 - Typical In-line  
 Site Type: Residential  
 Annual Eto (Inches/Yr): 32.2  
 Allowed ETAW: 0.55

Hydrozone or Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (%)	ETAW (PF)(IE)	Landscape Area (sq-ft)	ETAW x Area	*Estimated Total Water Use (Gal./Yr.)
<b>Regular Landscape Areas</b>							
WOOD SHRUBS	0.4	Mod./Auto.	Drip	0.81	0.3	182	2,300
WOOD TREES	0.4	Mod./Auto.	Bubbler	0.81	0.3	9	144
SUBTOTAL →							3,444
<b>Special Landscape Areas</b>							
1	1	0	0	0	0	0	0
2	1	0	0	0	0	0	0
3	1	0	0	0	0	0	0
SUBTOTAL →							0
*Maximum Allowed Water Allowance (MAWA) =							3,444

(a) Hydrozone & Planting Description  
 1) Front Lawn  
 2) Low water use planting  
 3) Medium water use

(b) Irrigation Method  
 Overhead Spray  
 Drip  
 Bubbler

(c) Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

(d) ETAW (Annual Gallons Required)  
 Eto x PF x IE = ETAW x Area where  
 0.82 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAW is 0.55 for residential areas and 0.45 for non-residential areas.

ETAW Calculations

Regular Landscape Areas	Total ETAW x Area	3,444
	Total Area	391
	Average ETAW	0.49
All Landscape Areas	Total ETAW x Area	3,444
	Total Area	391
	Average ETAW	0.89

Notes:  
 Average ETAW (ET adjustment factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.  
 Calculator developed to meet code effective Jan. 1, 2015. This calculator is for estimating purposes only.

**B PLAN 3522 - INLINE**  
 SCALE: nts

### Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.3 Model Water Efficient Landscape Ordinance

Site Information  
 Site Name: Winding Creek Ph.3 Plan 3524 - Typical In-line  
 Site Type: Residential  
 Annual Eto (Inches/Yr): 32.2  
 Allowed ETAW: 0.55

Hydrozone or Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (%)	ETAW (PF)(IE)	Landscape Area (sq-ft)	ETAW x Area	*Estimated Total Water Use (Gal./Yr.)
<b>Regular Landscape Areas</b>							
WOOD SHRUBS	0.4	Mod./Auto.	Drip	0.81	0.5	170	2,813
WOOD TREES	0.4	Mod./Auto.	Bubbler	0.81	0.5	9	144
SUBTOTAL →							3,291
<b>Special Landscape Areas</b>							
1	1	0	0	0	0	0	0
2	1	0	0	0	0	0	0
3	1	0	0	0	0	0	0
SUBTOTAL →							0
*Maximum Allowed Water Allowance (MAWA) =							3,291

(a) Hydrozone & Planting Description  
 1) Front Lawn  
 2) Low water use planting  
 3) Medium water use

(b) Irrigation Method  
 Overhead Spray  
 Drip  
 Bubbler

(c) Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

(d) ETAW (Annual Gallons Required)  
 Eto x PF x IE = ETAW x Area where  
 0.82 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAW is 0.55 for residential areas and 0.45 for non-residential areas.

ETAW Calculations

Regular Landscape Areas	Total ETAW x Area	3,291
	Total Area	305
	Average ETAW	0.49
All Landscape Areas	Total ETAW x Area	3,291
	Total Area	305
	Average ETAW	0.89

Notes:  
 Average ETAW (ET adjustment factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.  
 Calculator developed to meet code effective Jan. 1, 2015. This calculator is for estimating purposes only.

**C PLAN 3524 - INLINE**  
 SCALE: nts

### Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.3 Model Water Efficient Landscape Ordinance

Site Information  
 Site Name: Winding Creek Ph.3 Plan 3526 - Typical In-line  
 Site Type: Residential  
 Annual Eto (Inches/Yr): 32.2  
 Allowed ETAW: 0.55

Hydrozone or Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (%)	ETAW (PF)(IE)	Landscape Area (sq-ft)	ETAW x Area	*Estimated Total Water Use (Gal./Yr.)
<b>Regular Landscape Areas</b>							
WOOD SHRUBS	0.4	Mod./Auto.	Drip	0.81	0.5	167	2,688
WOOD TREES	0.4	Mod./Auto.	Bubbler	0.81	0.5	9	144
SUBTOTAL →							2,832
<b>Special Landscape Areas</b>							
1	1	0	0	0	0	0	0
2	1	0	0	0	0	0	0
3	1	0	0	0	0	0	0
SUBTOTAL →							0
*Maximum Allowed Water Allowance (MAWA) =							2,832

(a) Hydrozone & Planting Description  
 1) Front Lawn  
 2) Low water use planting  
 3) Medium water use

(b) Irrigation Method  
 Overhead Spray  
 Drip  
 Bubbler

(c) Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

(d) ETAW (Annual Gallons Required)  
 Eto x PF x IE = ETAW x Area where  
 0.82 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAW is 0.55 for residential areas and 0.45 for non-residential areas.

ETAW Calculations

Regular Landscape Areas	Total ETAW x Area	2,832
	Total Area	375
	Average ETAW	0.49
All Landscape Areas	Total ETAW x Area	2,832
	Total Area	375
	Average ETAW	0.89

Notes:  
 Average ETAW (ET adjustment factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.  
 Calculator developed to meet code effective Jan. 1, 2015. This calculator is for estimating purposes only.

**D PLAN 3526 - INLINE**  
 SCALE: nts

### Water Efficient Landscape Worksheet

Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.3 Model Water Efficient Landscape Ordinance

Site Information  
 Site Name: Winding Creek Ph.3 Typical Corner  
 Site Type: Residential  
 Annual Eto (Inches/Yr): 32.2  
 Allowed ETAW: 0.55

Hydrozone or Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (%)	ETAW (PF)(IE)	Landscape Area (sq-ft)	ETAW x Area	*Estimated Total Water Use (Gal./Yr.)
<b>Regular Landscape Areas</b>							
WOOD SHRUBS	0.4	Mod./Auto.	Drip	0.81	0.5	376	6,000
WOOD TREES	0.4	Mod./Auto.	Bubbler	0.81	0.5	36	576
SUBTOTAL →							6,576
<b>Special Landscape Areas</b>							
1	1	0	0	0	0	0	0
2	1	0	0	0	0	0	0
3	1	0	0	0	0	0	0
SUBTOTAL →							0
*Maximum Allowed Water Allowance (MAWA) =							7,124

(a) Hydrozone & Planting Description  
 1) Front Lawn  
 2) Low water use planting  
 3) Medium water use

(b) Irrigation Method  
 Overhead Spray  
 Drip  
 Bubbler

(c) Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

(d) ETAW (Annual Gallons Required)  
 Eto x PF x IE = ETAW x Area where  
 0.82 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, and ETAW is 0.55 for residential areas and 0.45 for non-residential areas.

ETAW Calculations

Regular Landscape Areas	Total ETAW x Area	6,576
	Total Area	412
	Average ETAW	0.49
All Landscape Areas	Total ETAW x Area	6,576
	Total Area	412
	Average ETAW	0.89

Notes:  
 Average ETAW (ET adjustment factor) for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.  
 Calculator developed to meet code effective Jan. 1, 2015. This calculator is for estimating purposes only.

**E PLAN 3521 - TYPICAL CORNER**  
 SCALE: nts